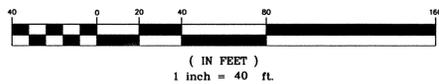


LOCATION MAP  
N.T.S.



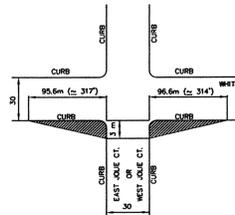
GRAPHIC SCALE



SUBDIVISION NAME: THE PLAZA ON WHITBY ROAD  
 MASTER DEVELOPMENT PLAN ID: \_\_\_\_\_  
 OWNER: JAIME ARECHICA  
 1616 CALLE DEL NORTE #48  
 LAREDO, TEXAS 78041  
 DEVELOPER: S.A. ALLIANCE & ASSOCIATION LTD.  
 1616 CALLE DEL NORTE #48  
 LAREDO, TEXAS 78041  
 DESIGNER / ENGINEER: G.E. REAVES ENGINEERING, INC.  
 1017 CENTRAL PKWY. N. STE. 100  
 ADJACENT PROPERTY OWNERS: SEE ATTACHED BEXAR APPRAISAL DISTRICT EXHIBIT  
 LEGAL: N.C.B. 14657, BLOCK E, LOT 24  
 UTILITIES: SEE ATTACHED UTILITY PLAN  
 PROPOSED LAND USE: THE PROPOSED LAND USE IS TOWNHOUSES, EACH STRUCTURE WILL CONTAIN TWO SINGLE FAMILY UNITS, HAVING APPROXIMATELY 13.6 UNITS PER ACRE.  
 FLOOD PLAIN: THERE IS NO FLOOD PLAIN ON THE PROPERTY.  
 E.A.R.Z.: THE PROPERTY IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.  
 STREET: THE STREETS WILL BE PRIVATE.  
 GATED STATUS: THE SUBDIVISION WILL NOT BE GATED.  
 NUMBER OF PHASES: THE SUBDIVISION WILL BE DEVELOPED IN ONE PHASE.  
 BASIS OF BEARING: THE BASIS OF BEARING IS N.A.D. 83 TEXAS SOUTH CENTRAL ZONE USING U.S. SURVEY FEET.  
 PROPERTY ZONING: THE PROPERTY IS ZONED MF25 P.U.D.  
 ALLOWABLE INTENSITY: THE MAXIMUM ALLOWABLE DENSITY FOR THIS TOWNHOUSE DEVELOPMENT IS 20 UNITS PER ACRE. (20 UNITS/AC \* 3.241 AC = 64.82 ≈ 64 UNITS) THE PROPOSED P.U.D. DENSITY IS 13.6 UNITS PER ACRE. (13.6 UNITS/AC \* 3.241 AC = 44 UNITS) WHICH IS WITHIN THE ALLOWABLE MAXIMUM DENSITY.

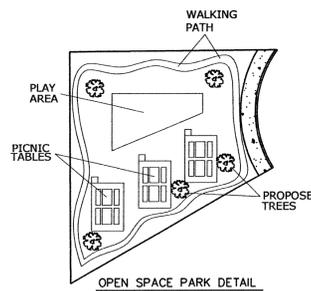
TOTAL PROPERTY ACREAGE: 3.241 ACRES  
 TOTAL NUMBER OF DWELLING UNITS: 44  
 PAVED SQUARE FOOTAGE: 28,035 S.F.  
 PROPOSED UNIT SQUARE FOOTAGE: 1,600 S.F.  
 RESIDENTIAL DENSITY UNITS PER ACRE: 13.6  
 RATIO OF RESIDENTIAL USAGE: 100%  
 TOTAL AREA OF PASSIVE OPEN SPACE: 52,744 S.F. = 1.21 AC  
 TOTAL AREA OF ACTIVE OPEN SPACE: 3,455 S.F. = 0.08 AC  
 TOTAL NUMBER OF OFF-STREET PARKING: 88  
 CALCULATIONS:  
 DENSITY: 44 UNITS / 3.241 ACRES = 13.6 UNITS PER ACRE  
 REQUIRED OPEN SPACE AREA : 44 UNITS \* (1/114) = 0.386 ROUNDED TO NEAREST TENTH : 0.4 AC  
 THE DEVELOPER PLANS TO INSTALL PICNIC TABLES IN THE OPEN SPACE AREA AT A RATIO OF TWO PICNIC TABLES PER ACRE. THUS THE REQUIREMENT FOR OPEN SPACE DROPS TO 0.1 AC.  
 VARIANCE REQUESTS:  
 1. THE VARIANCE IS FOR THE REDUCTION OF R.O.W. FROM 50 FT. TO 31.5 FT., WHICH WILL INCLUDE THE PAVEMENT WIDTH AND THE CURBS.  
 2. THE VARIANCE IS FOR THE REDUCTION OF THE REQUIRED OPEN SPACE AREA FROM 0.1 AC (4,356 S.F.) TO 0.08 (3,455 S.F.).

**CLEAR VISION AREA NOTE**  
 ACCORDING TO THE 1994 AASHTO GREEN BOOK, THIS EQUATION APPLIES ONLY FOR CASE IIB AND CASE IIC, WHERE TRAFFIC ON THE MINOR ROAD MUST STOP PRIOR TO ENTERING A MAJOR ROADWAY.  
 TWO BASIC MANEUVERS FOR THESE INTERSECTIONS ARE TO TURN LEFT INTO THE CROSSING ROADWAY BY FIRST CLEARING TRAFFIC ON THE LEFT AND THEN TO ENTER THE TRAFFIC STREAM WITH VEHICLES FROM THE RIGHT AND TO TURN RIGHT INTO THE INTERSECTING ROADWAY BY ENTERING THE TRAFFIC STREAM FROM THE LEFT  
**CASE IIB**  
 $SD = 0.278V + 1.074V^2$   
 WHERE:  
 SD = REQUIRED SIGHT DISTANCE FOR LEFT TURN MANEUVER  
 V = DISTANCE TRAVELED BY ONCOMING TRAFFIC TO REDUCE SPEED TO 85% OF DESIGN SPEED AND NOT ENDOUR ON THE TURNING VEHICLE  
 h = P - SM - (0.56 \* 85% OF DESIGN SPEED) - VEHICLE LENGTH  
 P = DISTANCE REQUIRED FOR TURNING VEHICLE TO REACH 85% OF DESIGN SPEED.  
**CASE IIC**  
 PER 1994 AASHTO GREEN BOOK (P.716) THE DISTANCE REQUIRED TO TURN RIGHT MANEUVER IS APPROXIMATELY ONE METER LESS THAN REQUIRED FOR A LEFT TURN MANEUVER AS OUTLINE FOR CASE IIB.

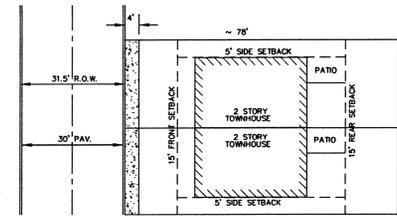


CLEAR VISION AREA DETAIL  
 PER FIGURE IX-32 OF THE 1994 AASHTO GREEN BOOK

THE PLAZA ON WHITBY ROAD  
 MASTER DEVELOPMENT PLAN ID NO. \_\_\_\_\_



OPEN SPACE PARK DETAIL



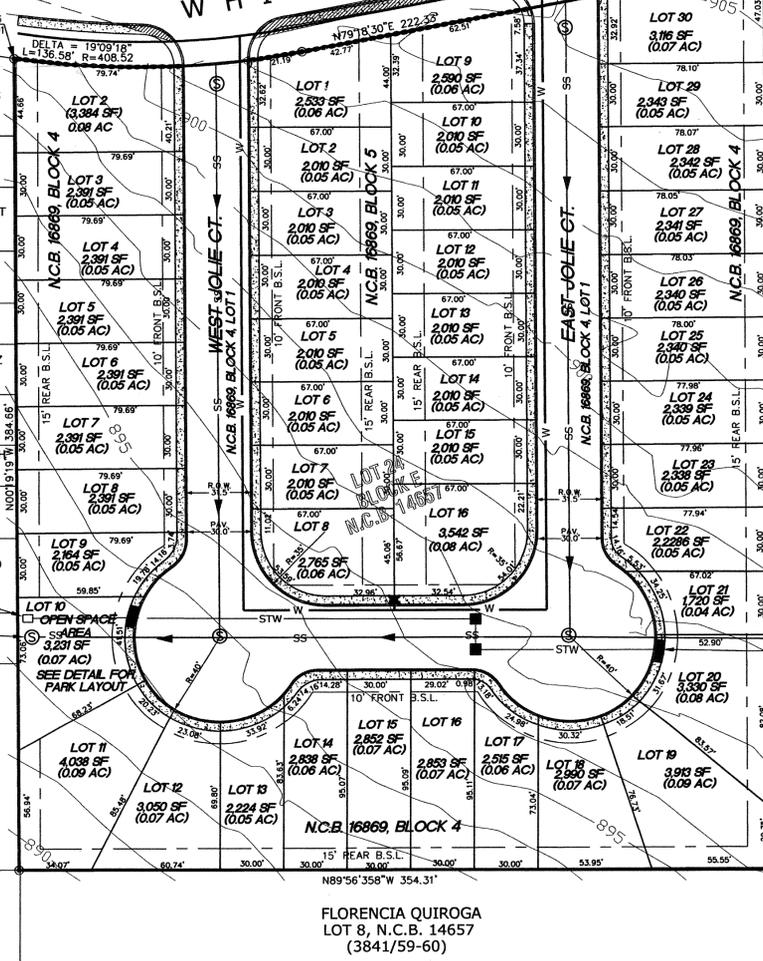
TYPICAL LOT LAYOUT

GARAGES ARE TO BE LOCATED 20' FROM CURB  
 THIS P.U.D. HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE CHAIRPERSON, IS HEREBY APPROVED.  
 DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

THIS P.U.D. HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE SECRETARY, IS HEREBY APPROVED.  
 DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

02 APR 12 PM 3:22  
 CITY OF SAN ANTONIO  
 DEPARTMENT OF PLANNING

**NORTHAMPTON SUBDIVISION**  
 PETER R BURGESS LOT 205  
 DENISE M FERRIS LOT 204  
 SASSE LIVING TRUST LOT 203  
 RICHARD RINALDI LOT 202  
 RICHARD RINALDI LOT 201  
 TIMOTHY A HERNANDEZ LOT 200  
 TIMOTHY A HERNANDEZ LOT 199  
 THOMAS & RHONDA LOUISE SMITH LOT 198  
 THOMAS & RHONDA LOUISE SMITH LOT 197  
 CARMEN M MERCADO LOT 196  
 PRINCE CHARLES  
 IMM FAMILY LTD. PARTNERSHIP LOT 193  
 IMM FAMILY LTD. PARTNERSHIP LOT 194  
 IMM FAMILY LTD. PARTNERSHIP LOT 195  
 FRANCES N BARTON LOT 9, N.C.B. 14657



**ALAMO FARMSTEADS SUBDIVISION**  
 (VOL. 980, PGS. 373-374)  
**LOT 25**  
 7.327 ACRES  
 JAIME ARECHICA, ET. AL.  
 WEST: 3.384 ACRES OF LOT 25, BLOCK E, N.C.B. 14657  
 EAST: 3.943 ACRES OF LOT 25, BLOCK E, N.C.B. 14657  
 FLORENCIA QUIROGA LOT 8, N.C.B. 14657 (3841/59-60)  
 LEONARA A. LUERBEN LOT 7, N.C.B. 14657 (3960/918-919)

APPROVED PLANNED UNIT DEVELOPMENT  
 Approved by Commission on May 8, 2002  
 Approved by Secretary on May 8, 2002  
 #01-019  
 LOT 7  
 N 89°39'07" W 326.50'

DATE \_\_\_\_\_  
 DESCRIPTION \_\_\_\_\_  
 1. REVISED CUI-DE-SAC DIMENSIONS  
 2. REMOVED GATE.  
 REVISION \_\_\_\_\_  
 LOCATION I VOL. 2 \ TEXAS \ CIVIL \ 01-0225 \ DWG'S - PUD  
 © COPYRIGHT GE REAVES 2001

**GE**  
 GE Reaves Engineering, Inc.  
 P.O. Box 791793  
 San Antonio, TX 78279-1793  
 (210) 490-4506 Fax 490-4812

THE PLAZA ON WHITBY ROAD  
**PLANNED UNIT DEVELOPMENT PLAN**  
 WHITBY ROAD  
 SAN ANTONIO, TEXAS

JOB NO. ....00-0226  
 DATE.....06/07/01  
 DESIGNER.....JMG  
 CHECKED.....RPT  
 DRAWN.....JMG  
 SHEET  
**C.01**

#00-019



**A memo from the**  
**City of San Antonio**  
**Planning Department**  
**Master Development**

**TO:** Arnulfo Gonzalez

**DATE:** May 8, 2002

**FROM:** Michael O. Herrera, Senior Planner

**COPIES TO:** File

**SUBJECT:** # 01-019

**Name:** The Plaza on Whitby Road

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The plat or plan referenced above was heard by the  Planning Commission

Director of Planning COSA

on the date shown.

The following action was taken:

APPROVED  
 DISAPPROVED

A plat will not be recorded pending site improvements, the required guarantee is posted or payment of impact fees are paid (or filed).

If you have any questions regarding please call Mr. Michael O. Herrera @ 207-7038